# U.S. DEPARTMENT OF HOMELAND SECURITY Federal Emergency Management Agency

# **ELEVATION CERTIFICATE**

OMB No. 1660-0008 Expires February 28, 2009

National Flood Insurance Program Important: Read the instructions on pages 1-8.

B06-0	52.71	SECT	ON A - PRO	PERTY I	NFORM	ATION	For Insurance Company Use:
A1. Building Owner's Name Wayne Ramosky						Policy Number	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 241 Grenwood Dr.					Company NAIC Number		
City Key Biscayne	State FI ZIF	Code 33149	***************************************		***************************************	administrative program of the defends the place had the defendency beyone	
A3. Property Description (I Lot 20, Blk 28, of "FOURTH	ot and Block Nu	mbers, Tax Parcel Nu	mber, Legal D	escription,	etc.)	PR 53-39 of the Mis	emi. Deda Public Rec
				*****		D 00-00 Of the lane	arii-Dade Public Nec.
A4. Building Use (e.g., Res A5. Latitude/Longitude: La A6. Attach at least 2 photo A7. Building Diagram Numl A8. For a building with a cr a) Square footage of	t. <u>25°41'41.2008'</u> graphs of the bui ber <u>1</u> awl space or end crawl space or ei	Long. 80°10'6,7800 diding if the Certificate closure(s), provide nclosure(s)	u ~	to obtain fl	ood insur . For a b a) Squ	ance uilding with an attac are footage of attac	atum: NAD 1927 NAD 1983  ched garage, provide: ched garage 423 sq ft
<ul> <li>b) No. of permanent fine enclosure(s) walls to the enclosure (s).</li> </ul>		the crawl space or ove adjacent grade	N/A		b) No.	of permanent flood	openings in the attached garage ove adjacent grade N/A
c) Total net area of flo			N/A sq in		c) Tota	al net area of flood	openings in A9.b <u>N/A</u> sq in
	SECT	ION B - FLOOD IN	SURANCE	RATE MA			
B1. NFIP Community Name	& Community N		2. County Nar	ne			B3. State
Villige of Key Biscayne 1206	~~~~	N	liami-Dade				FI
B4. Map/Panel Number 12025C 0281	B5. Suffix	B6. FIRM Index Date 07/17/1995	Effective	IRM Pane Revised I /02/1994		B8. Flood Zone(s)	B9. Base Flood Elevation(s) (Zone AO, use base flood depth)
B10. Indicate the source of t						AE	10.00'
FIS Profile	and the second s	☐ Community Detem		ptn entere Other (E		39.	
B11. Indicate elevation datur		· · ·	· -	☐ NAVD 1		 ☐ Other (Describe)	
B12. Is the building located in Designation Date					se Protec	ted Area (OPA)?	☐Yes ⊠No
	SECTION	C - BUILDING EL	EVATION IN	IFORMA	TION (S	JRVEY REQUIRI	ED)
Benchmark Utilized MI-1	ate will be require 30, AE, AH, A (w uilding diagram s 1 Vertical Datur	rith BFE), VE, V1-V30 pecified in Item A7.	of the building	is complet	e.	Construction* AR/A1-A30, AR/AH	☐ Finished Construction , AR/AO. Complete Items C2.a-g
Conversion/Comments _	<del></del>			-	Cł	neck the measurem	ent used
a) Top of bottom floor (included) b) Top of the next higher	er floor			10.05 N/A	⊠ feet	meters (Puerto	Rico only)
	, , , , , , , , , , , , , , , , , , ,			<u>N/A</u> .		meters (Puerto	• •
d) Attached garage (top of slab) e) Lowest elevation of machinery or equipment servicing the building			uildina	6.77		meters (Puerto	
(Describe type of equ	uipment in Comn	nents)	Juliumy	<u>N/A</u>	[] 166f	meters (Puerto	rico only)
f) Lowest adjacent (finished) grade (LAG)				<u>5.50</u>	⊠ feet	meters (Puerto	Rico only)
g) Highest adjacent (fin	ished) grade (HA	vG)		<u>5.70</u>	⊠ feet	meters (Puerto	Rico only)
	SECTIO	ND-SURVEYOR,	ENGINEER,	OR ARC	HITECT	CERTIFICATION	
This certification is to be sign information. I certify that the I understand that any false storm Check here if comments in the comments.	ed and sealed by information on th atement may be	a land surveyor, eng is Certificate represer punishable by fine or	ineer, or archi	ect authori	ized by la	w to certify elevation	
Certifier's Name Jose F. Lop	ez			icense Nu	mber 308	6	
Title Professional Land Surve	eyor and Mapper	Company Name					$=\begin{bmatrix} & & & & & & & & & & & & & & & & & & &$
Address 7900 NW 155 <sup>th</sup> St. S		City Miami Lakes	;	State FI	ZIP Cod	e 33016	- fore Topa
Signature Fig. 1	62	Date 05/21/07	Telephone	(305)828-	2725		- OS-21-07
1. 1	3						

IMPORTANT: In these spaces	s, copy the corresponding informa	tion from Se	ection A.	For Insurance Company Use:
Building Street Address (including A 241 Grenwood Dr.	pt., Unit, Suite, and/or Bldg. No.) or P.O.	Route and Bo	x No.	Policy Number
City Key Biscayne State FI ZIP C	Company NAIC Number			
SECTIO	ON D - SURVEYOR, ENGINEER, OF	ARCHITEC	T CERTIFICATION (C)	NATINU (ED)
	rtificate for (1) community official, (2) inst			
Comments HIGHEST CROWN OF	ROAD ELEVATION 5.30' NGVD	Tance agence	ompany, and (3) building (	owner.
, , ,				
Signature Saftey				
Signature		Date 05/2	21/07	
SECTION E - BUILDING EL	EVATION INFORMATION (SURVE)	NOT REQU	JIRED) FOR ZONE AO	Check here if attachmen
				······································
and O. 1 of Reins E1*E4, use natura	complete Items E1-E5. If the Certificate I grade, if available. Check the measurer	nent used. In	Puerto Rico only, enter me	eters.
<li>E1. Provide elevation information for grade (HAG) and the lowest ad</li>	or the following and check the appropriate	boxes to sho	w whether the elevation is	above or below the highest adjacent
<ul> <li>a) Top of bottom floor (including</li> </ul>	basement, crawl space, or enclosure) is	<b>;</b>	☐ feet ☐ meters ☐	above or Thelow the HAC
a) top of bottom moor (moraum)	a pascinicini, ciawi space, di enclosulei is	i	i iteet i motore i i	above on helevide I to
(elevation C2.b in the diagrams	permanent flood openings provided in Se ) of the building is fee	et III meters	8 and/or 9 (see page 8 of I	nstructions), the next higher floor
E3. Attached garage (top of slab) is	feet meters	above or [	below the HAG	
E5. Zone AO only: If no flood denth	nd/or equipment servicing the building is	tom flaggardes	☐ feet ☐ meters ☐ ab	ove or Delow the HAG.
ordinance?  Yes  No	number is available, is the top of the boi Unknown. The local official must ce	rtify this inform	ated in accordance with the nation in Section G.	community's floodplain management
	N F - PROPERTY OWNER (OR OW			
or Zone AO must sign here. The state	ized representative who completes Section Comments in Sections A, B, and E are correct	ons A, B, and E of the hest o	E for Zone A (without a FEI f my knowledge	MA-issued or community-issued BFE)
Property Owner's or Owner's Authoriza	ed Representative's Name	110 170 2001 01	my morneage.	
Address	(	City	State	ZIP Code
Signature		Date	Telepho	
Comments			relehilo	116
				Check here if attachment
	SECTION G - COMMUNITY I	NFORMATIC	ON (OPTIONAL)	
ne local official who is authorized by law nd G of this Elevation Certificate. Com	w or ordinance to administer the commun plete the applicable item(s) and sign belo	ity's floodplain w. Check the	management ordinance c	an complete Sections A, B, C (or E),
<ol> <li>The information in Section C w</li> </ol>	as taken from other documentation that I	has heen sinna	ad and sealed by a license	d numerous sustantiants and the second
is admonized by law to ceiting e	elevation information. (Indicate the source	e and date of t	he elevation data in the Co	omments area below.)
3. The following information (Item	d Section E for a building located in Zone as G4G9.) is provided for community floo	A (Without a F	EMA-issued or community	-issued BFE) or Zone AO.
94. Permit Number	G5. Date Permit Issued			
	Oo. Date Femili Issued	G6.	Date Certificate Of Compl	iance/Occupancy Issued
7. This permit has been issued for:		ntial Improvem	ent	
3. Elevation of as-built lowest floor (incl		feet	meters (PR) Datum _	
). BFE or (in Zone AO) depth of flooding	g at the building site:		meters (PR) Datum _	<del></del>
ocal Official's Name		Title		
ommunity Name		Telephone	)	
ignature		Date		
omments				
OHENCHES				
				Check here if attachments

# ABBREVIATIONS THE CONTROL OF THE SECONT OF T Fig. Terries 100 LASCRATO LATINATE FOLKOS LETT PANO LOW POINT LAGE LOUVER 80 00 00 80 00 00 80 00 00 80 00 MARCHEY MACKEY MACKEY MEDICAL CARRIES PECHANICAL MACKACTURES MINIST MEDICARE MINIST MEDICARE MINIST MEDICARE MINIST MEDICARE MINIST MEDICARE MINIST M PARKETER SEE POPULE CONDUIT CONDUIT CASHNEL CAS ୍ଟର ପ୍ରକ୍ରିକ ବ୍ୟକ୍ତ ପ୍ରକ୍ରିକ କ୍ଷ୍ୟୁ ବ୍ୟକ୍ତ ପ୍ରକ୍ରିକ କ୍ଷ୍ୟୁ ବ୍ୟକ୍ତ ବ୍ୟକ୍ତ କ୍ଷ୍ୟୁ କ୍ଷ୍ୟୁ କ୍ଷ୍ୟୁ କ୍ଷ୍ୟୁ କ୍ଷ୍ୟୁ କ୍ NATURAL NOT 1 CONTRACT NOT TO SCALE OA OVERLE CC ON CENTRALIA OF DEED TWO-BAB SCHTMACTOR MILLED CF OFFICE AND OFFICE OFFICE OFFICE OFFICE OFFICE OFFICE OFFICE OFFICE មិន ខ្មែរ ពិធីសម្ព័ពិធី E PARTITION POINT OF CURVATUSE PLASTIC ELEVATION CHOISEC ELEVATOR EGUAL EGUATOR EGUATOR EGUATOR EGUATOR EGUATOR EGUATOR EGUATOR ERICHES ERICH Q: QUASSIT THE NEER METURN AIR RADUS PECESS METURN AIR SRIT RECOSED REFERENCE SOUTE COSE SOUNCE POOT SHEFT SHOULDEST STEEL SOUNCE STEEL STANDEST STEEL STANDEST SHEEL SH ERODIFO ST DTICHS FOUNDATION FOU PROTECTION OF THE PROTECTION Charter Fonac Chert Conjetcice Chert Pat Chert Conjetcice Chert Conjetcice TREAD TOWNS I GNOOVE BEEM-ALD TOWNS I GNOOVE BEEM-ALD BEEM-ALD TOWNS I GNOOVE TOW 40 KK 16 KK H301 B10 -52,05 CCCC -52,05 CCCC -52,05 CCCC -52,05 CCCC -52,05 CCCC -52,05 CCCC -53,05 CCC -53,05 CCCC -53,05 CCC -53,05 CCC -53,05 CCC -53,05 CCC -53,05 CCC -NO ESS OTHERUSE HOTED NO ESS OTHERUSE HOTED retded take alser tater dateragorat tase leba tase leba tase lebater tood D ASIDE DIFERDION NOME ASSUMPTION NOME ASSUMPTION THE ATTENDRY NOUNCE BOX 8 8 1-24.0 C FAR BONUS CHART

	CRITERIA	CALCULATION	PAR INCREASE
~~~~~	PORCHEAGE A SIREET	06 8F Y SCC05	6063
?	OFEN AND WENCLOSED BALCONIES LOCATED ABOYE THE HINST SNIGH FLOOR	134 8º X 000009	0061
3.	BALDYS LCCATED 5-10 FT FROM A PRONT PROPERTY LAR	NO N 433	.02%
4.	GARASE OR CARPORT CONTAINS 190 OR MORE VEHICLES PARKED PARALES UIT- AN EXTENIOR COLUMN SEPARATING EACH OF THE SPACES	Ø! × 1 5 DE6	.03
£	ALL UNCODE DECIVE THE PRET FLOOR FACTION AND ADJACENT BUILDING WHICH ARE FIVE FT LABOUR THE FINISH FLOOR.	O: < 2 9/0E9	52
•	5/DE YARD SETBACK LINCH, A, EXCEEDS THE REQUIRED YARD	853 6±. x 00000 1.04	63 M4x AUL00ED
10.	BUIDNS LOCATED INVENTIGHT OF THE NEAR LOT LINE	7°5 × 00°	.0275
11	VR STRUCTURES THAT PROVIDE A FRONT SETBACK OF LESS THAN 19 FT CHICH FAVE A ROOF AT LEAST THREE FT LOUISE THAN THE ROOF OF THE MAIN CHUICIUSE		03
v.	REDUCTIONS IN BUILDING LEGIST	8.9" × 500	202
	1	TOTAL !	
		MARRY PAR ALIQUED	7

16" 755%	1,500 S0 F1	BIND W. AREA				
*****	\$(G05)	POPOSO	FIRST FLECT A/C SPACE	1935	SQ#1(442 SQ#5)	
8. (0% #EA	A525 SSFT (47 V 7,560)	\$596 BVF1	sverora.		State	
EUCONG SETERONE	PRIMOR RESISTED	PROP05528	250082-14008 3/0-59808	1.545	SAP	
FRONT	70"-0"	27-3" (MAN 201.5E)			1.0	
WO STORY 1905?	P."-0" UP 10 26-5"	29'-2"	\$140014 S	1,545		
LUCKEMENT	Jan 6, 10, man		1018, (£908)	100 3529	SQ F1.	
OVE JUSTAL HERE EVERONOMERY	15 + 61 (4P 10 16) 6505 (4F 101 16(4F)	77'-8" (F858)		Arono		
160 5064 568 187 505 968 567	15-61 1-61 1-61	\$5°-55' 12°-5' 17-61	EDF COVERNOR	3,625 \$6.8 (35 × 7,590)	2582 50.FE fac 1925: -048402 524 +198402 509	
	9500959	FR090511	ANT DERVOUS AREA	1,256 8941 1,35 % 7,56%	A321 50.51	

FL000 7085

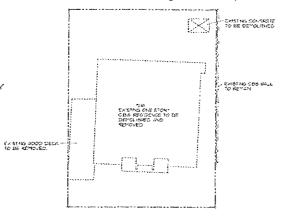
# 100-0" Mg # 10"-5"

MT-0" OR IND STORES

#### GENERAL NOTES

General Contractor and levals has the east and pecons facility sun conditions affecting the constructor the ones are coffere such that pinks. To the to do this the final deconforced consignations of conforced could be understanded to conforced cause for understanding.

- Englar disposal of all vasio natorials shall be by the General Contractor. All relivious accommenders and the response or for proper disposal of vasio reserving out to not respective activities. The site reful put has to reful and engine at siteness and second as a siteness and engine and second as a siteness are contractor and the responsible for proper disposal due to their activities.
- The General Contractor is responsible for all Lork indicated or inatiled be these
  construction becomes suited specified by noted log others lander in CT. Also is
  addition to hisher autocontractors, the General Contractor is responsible for
  conordinating and spreading and spring process angles. N. CT.
- i. The General Contractor is lable for all damages.
- The General Contractor that tower the job cleaned upon completion of work including but not detect to viscus a basing corpute, potening randwise fishings, remove, of dust distance and discuss.
- . Any deviation from these construction drawings and specifications must be subsitted for revisuland approval prior to implementation.
- The Contractor avail pay and name anall reposeany City County and State Toerses prior to connecting construction. If exectly combinate are required for any part of the work tree; and can not and and exhibition. The Contractor and ignoral matters and combigatifit for laws prefinences, occurs and regulations their night, the conduct of the work as other properties.
- It will be the Contractor's respect bility as part of the Lork to be done to co-ordinate
  his Lork aim that of other contractors are sufcontractors.
- 10 The Contractor shall be responsible for initiating, half-string and supervising all safety productions for the General Rudits, employees untries in the space, and the Contractor's Lordon's The Contractor and the Public Box responsible for any base or danding to the equipment inture, for any investor, and notice the footbed in or students and the Construction on and classifier from the Activities.
- The Contractor shall be responsible for all custing, fitting or patching that hay be required to complete the upix or to have to covere parts. It together properly,
- The Contractor shall provide addouate security and protection for all parts of the autility building, and/or their contents and occupants, where yet work under this contract is to be performed. The G.C. is responsible for the removal of any tentitud can be dishaged or stocks.
- All filtished work shall be free defects. The Workses reserves the right to reject by Taterial and work-arane which a not cora-depend to be up to the high standards of the various teleois involved.
- 14. The Contractor shall be responsible for all applicable handacturers, product guarantees and analisabilit copies of each to Curer and Applicabilities.
- The Contractor shall keep or site a complete set of construction crassings, specifications, addenoun and clarification practings, including a copy of city approved orange.
- 16 The Cartractor that review naturacturer/facilitations' shop aroung scarlites and co-provides to economicals of trades and deadlings. Cartractor skill forcero all submittels to the Architect for review of design linear conditions prior to feditication.

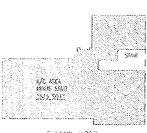


## GREENWOOD DRIVE

### DEMOLITION PLAN

## AREA CALCULATION





350049 (1,008

1 14 1

EX'ST 4" - 0" 75.00 ASSOCIATED ENGINEER LOT ELEVATIONS 7.6 1/G-E91 9PD1 13 5 -O LOLLITY EASEMEN LCUEST SPCT 55 A REPORT LAND 4VERAGE \$P01 6,45 A 100 19:-8: -New under ground Service, coord vate Ulffi, see electrical Plans CLIENT 7.61 8 Ramoski PANTED ---GALVANIZED GJITER Residence NEW ONE STORY WING 25"-O" MIN. REAR SETBAG 241 Greenwood Drive Key Biscayne, Florida KEYSTONE PAVERS ON SAND 18 APPENS. NEW POOL (UNDER SEPARATE PERMIT) - SIDE SETERACK TO 00 -STRUCTURAL SOREEN HEIGHT TO BE 1-0" HIGHER THAN AC UNITS (PAINT TO MATCH HOUSE COLOR) T-5 1/2 001 ALUM SELF-CLOSNA GATE UV SPRING LOADEG HINGES PAINTED ALIM SELF-CLOSNA BATS WOFFRING LOADED HINGES FAINTED NEW TWO STORY C.B.S RESIDENCE # 241 NEW 81 C.B.S. DALE REFER 10 ELEVIS Project No. SCENERALK IN VERTICAL 05--199 1 1000 ME. 11 111 SERVICE-321 PU -- ELECTRICAL METER 22.97 S'DE SETBACK CND CHICAGO BRICK DRIVEUMY OR AFPROVED BOJAL ON WELL-COMPACTED SAND -∱ 5.3° 18 KEYSTONE PAYERS ON --1 5.3 - 5.5 - 5.5 4-54 59 HUMATER METER ASSEMBLY Gonzalez-Abreu 75.00 Alas, Inc. PRIOR DRIVEGAS 7600 Red Road Sulto 203 South bliomi, Ft. 33143 ( 305 ) 740-7334 Lic: AA0002495 IS PARKUAS Carlos Gonzalez-Abreu Architect Lie. # AR 0014298 REVISIONS 1 3605 LAGE CON SITE PLAN LEGAL DESCRIPTION.

LOT TO BLOCK 28 SHEDWISEON FORTH ADDITION TO TROPICAL SLE HOMES SUBDIVISION ACCORDING TO THE FLAT HERBOTH &S RECORDED IN PLAT BOOK 35 AT PAGE 35 OF THE PUBLIC SECONDS OF MILATEDIAC SOLUTION FLAT BOOK 35 AT PAGE 35 OF THE PUBLIC SECONDS OF MILATEDIAC SOLUTION. SITE PLAN NOTES LIST OF DRAWINGS ARCHIECTURAL BITE FLAN / ZONING GROUND FLOOR PLAN BECOND FLOOR PLAN EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS REFER TO 1-E RECORDED PLATFOR INFORMATION RELATED TO THIS INSCREETLY MECHANCAL
MET FREE FLOOR MECHANCAL FLAR
MET SECOND ILOOR MECHANCAL FLAR COT U.L. BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF BIORN-RUSER ONTO ADJACENT PROFERRY GRADE ACCOMMISS TO MEST DETAILD SHOT ELECTRICAS. NEFER TO CORRECT SURVEY FOR SITE BOUNDARIES AND INFORMATIO DOOR MANDOS SCHEDULES BULD NO SECTION LACE SECTIONS / DETAILS LACE SECTIONS / DETAILS ELEC SITE PLAN ELEC GROUND ROOM PLAN ELEC SECOND ROOM PLAN PANEL SECONES DETAILS DATE A. FLOOD ZONE AS I FLOOD OR TERIA - HOLOT. 11-17-2005 SHEET A-0© G.A.A. Inc. 2005

কৰা কৰিছে প্ৰত্যাপ্ত কৰিছে কৰিছে। বিশ্ব কৰিছে কৰিছ কৰিছে ক

